

ZBA APPLICATION
4-UNIT DEVELOPMENT
 75 WASHINGTON ST, SOMERVILLE, MA 02143



WASHINGTON STREET ELEVATION

PREPARED BY:

ARCHITECT

PETER QUINN ARCHITECTS LLC

259 ELM ST, STE 301
 SOMERVILLE, MA 02144
 PH (617) 354 3989

SURVEYOR

SUMMIT SURVEYING, INC.

4 SOUTH POND STREET,
 NEWBURYPORT, MA 01950
 PH (978) 692-7109

LIST OF DRAWINGS		ZBA APPL 08 MAR 2017	ZBA APPL REV 1 20 JUN 2017	ZBA APPL REV 2 22 JUN 2017	ZBA APPL REV 3 3 AUG 2017
GENERAL					
T1.1	TITLE SHEET	X	X	X	X
	PLAN OF LAND	X	X	X	X
Z1.1	ZONING ANALYSIS	X	X	X	X
Z1.2	ZONING ANALYSIS	X	X	X	X
Z1.3	ZONING ANALYSIS	X	X	X	X

ARCHITECTURAL					
A1.1	FIRST & BASEMENT FLOOR PLAN	X	X	X	X
A1.2	SECOND FLOOR PLAN	X	X	X	X
A1.3	THIRD FLOOR PLAN	X	X	X	X
A2.0	COLOR FRONT ELEVATION (WASHINGTON AVE) & LEFT ELEVATION (WASHINGTON ST)	X	X	X	X
A2.1	FRONT ELEVATION (WASHINGTON AVE)	X	X	X	X
A2.2	LEFT ELEVATION (WASHINGTON ST) & RIGHT ELEVATION	X	X	X	X
A2.3	REAR ELEVATION	X	X	X	X



LOCUS PLAN

PETER QUINN ARCHITECTS

ARCHITECTURE
 PLANNING
 COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
 259 ELM STREET, SUITE 301
 SOMERVILLE, MA 02144
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CONSULTANT

PROJECT
75 WASHINGTON STREET
 75 Washington Street
 Somerville, MA 02143

PREPARED FOR
75 WASHINGTON STREET LLC
 150 Cambridge Park Drive
 Suite 703
 Cambridge, MA 02140

DRAWING TITLE
TITLE SHEET

SCALE AS NOTED

REVISION	DATE
REV 03	02 AUG 2017
REV 02	22 JUNE 2017
REV 01	20 JUNE 2017
ZBA APPLIC	08 MAR 2017
DRAWN BY ACW	REVIEWED BY PQ

SHEET
T1.1

REFERENCES:

DEED BOOK 50620 PAGE 415
PLAN BOOK 284 PLAN 25

RECORD OWNER:

SOMERVILLE 75 WASHINGTON
STREET LLC
75 WASHINGTON STREET
SOMERVILLE, MA

N/F
MMS REALTY TRUST

LOT 8
AREA =
3,904±S.F. (M)
3,930±S.F. (R)

N/F
MMS REALTY TRUST

- LEGEND**
- (M) MEASURED
 - (R) RECORD
 - CATCH BASIN
 - ⊗ GAS VALVE
 - ⊗ HYDRANT
 - ⊗ WATER VALVE
 - ⊗ DRAIN MANHOLE
 - ⊗ ELECTRIC MANHOLE
 - ⊗ MANHOLE (UNKNOWN)
 - ⊗ SEWER MANHOLE

BENCHMARK 1
TOP OF BOLT OVER MAIN
OUTLET OF HYDRANT.
ELEVATION = 14.59

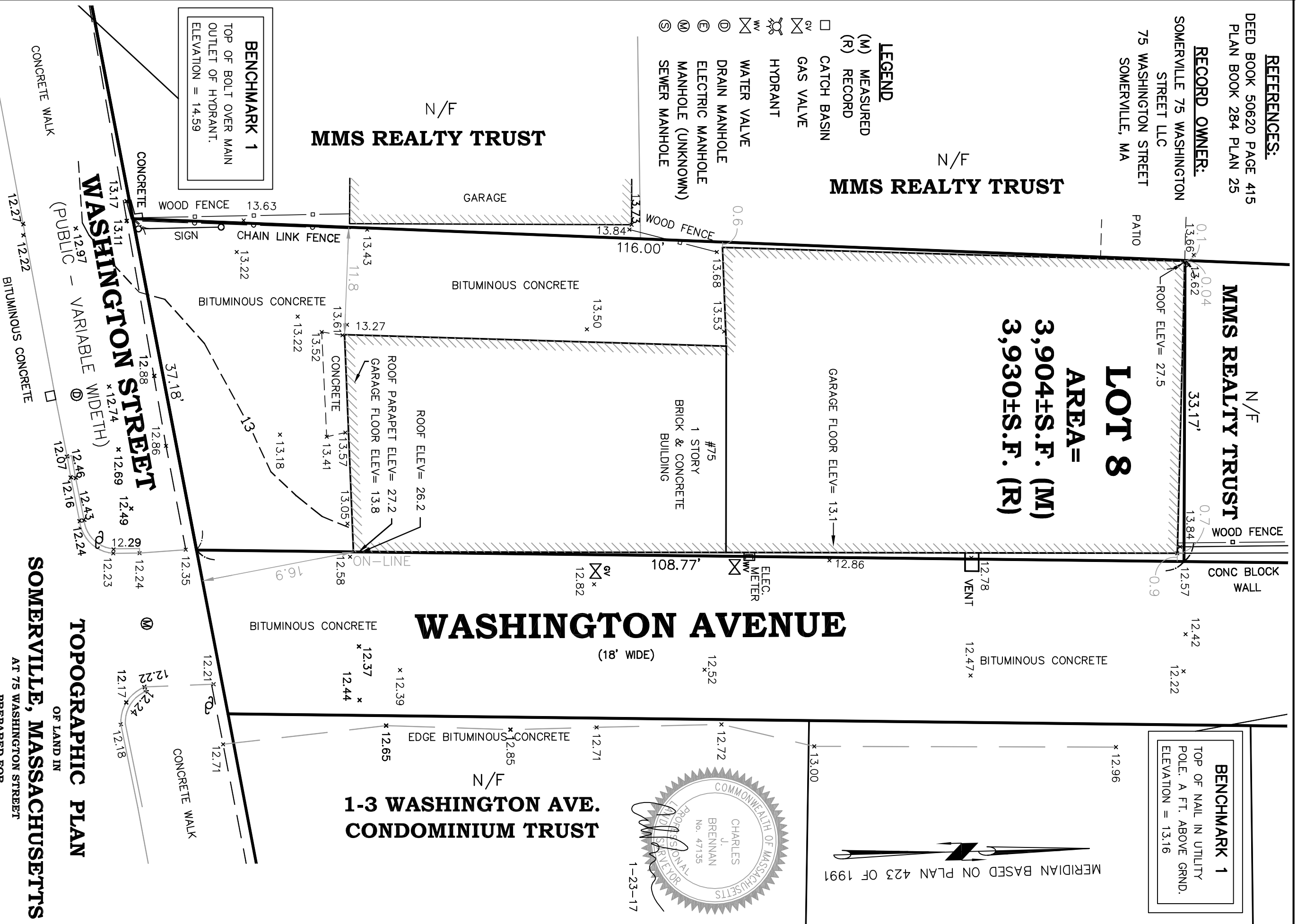
BENCHMARK 1
TOP OF NAIL IN UTILITY
POLE. A FT. ABOVE GRND.
ELEVATION = 13.16



N/F
MMS REALTY TRUST

WASHINGTON AVENUE
(18' WIDE)

N/F
**1-3 WASHINGTON AVE.
CONDOMINIUM TRUST**



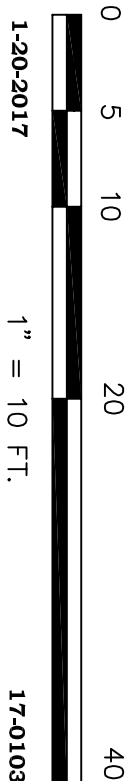
NOTES:

- 1.) THIS PLAN WAS PREPARED BY PERFORMING AN INSTRUMENT SURVEY IN JANUARY 2017.
- 2.) SUBSURFACE UTILITIES SHOWN HEREON ARE APPROXIMATE AND BASED ON THE LOCATION OF VISIBLE SURFACE EVIDENCE. THE LOCATION OF SUBSURFACE UTILITIES ARE NOT WARRANTED TO BE CORRECT, NOR DOES THE SURVEYOR GUARANTEE THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND CONTACT "DIG SAFE" (1-800-DIG-SAFE) PRIOR TO THE COMMENCEMENT OF WORK.
- 3.) A TITLE EXAMINATION WAS NOT PROVIDED FOR THIS SURVEY. AS SUCH OTHER MATTERS OF RECORD MAY EXIST AND NOT BE SHOWN HEREON.
- 4.) VERTICAL DATUM IS ASSUMED.

TOPOGRAPHIC PLAN

SOMERVILLE, MASSACHUSETTS
OF LAND IN
AT 75 WASHINGTON STREET
PREPARED FOR
HUDSON SANTANA

BY
SUMMIT SURVEYING, INC.
4 SOUTH POND STREET, NEWBURYPORT, MA 01950
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CBRENNAN@SUMMITSURVEYINGINC.COM



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DIMENSIONAL TABLE - RC ZONING DISTRICT

ITEM:	ALLOWED/REQUIRED	EXISTING	PROPOSED	COMPLIANCE
USE	PER §7.11	§7.11.11.6.a AUTO SHOP	RESIDENTIAL COMMERCIAL	REQUIRES SP PER §7.11
NUMBER OF DWELLING UNITS	4	0	4	REQUIRES SP PER §7.11
LOT SIZE (SF) MIN	7,500	3,904	NO CHANGE	EXISTING NONCONFORMITY REQUIRES RELIEF
LOT AREA / UNIT MIN WITH 1-9 UNITS (SF)	875	N/A	976	COMPLIES
GROUND COVERAGE (%) MAX	70	±67	70	COMPLIES
LANDSCAPED AREA MIN (% OF LOT)	25	0	26	COMPLIES
PERVIOUS AREA MIN (% OF LOT)	30	0	32 30	COMPLIES
NET FLOOR AREA (NSF)	7,808	±2,625	7,798	COMPLIES
FLOOR AREA RATIO MAX (FAR)	2.0	0.67	2.0	COMPLIES
HEIGHT MAX (FT/ STORIES)	40 / 3	±12 / 1	±37 / 3	COMPLIES
FRONT YARD MIN (FT) Washington Ave.	15	±0.01 OVER	1.0 EXTG FOOTPRINT 2.5 NEW FOOTPRINT	IMPROVE EXIST NONCONFORMITY REQUIRES RELIEF
REAR YARD MIN (FT)	10 OR PER §8.6.13*	±0.1	5.3 EXTG FOOTPRINT 6.6 NEW FOOTPRINT	IMPROVE EXIST NONCONFORMITY REQUIRES RELIEF
SIDE YARD MIN - LEFT (FT) Washington Street	10	±16.9	10.4	COMPLIES
SIDE YARD MIN - RIGHT (FT)	10	±0.1	5.1	IMPROVE EXIST NONCONFORMITY
FRONTAGE MIN (FT)	50	108.77	NO CHANGE	COMPLIES
NO. OF PARKING SPACES MIN	8**	0	4	REQUIRES RELIEF
MIN NO. BIKE PARKING SPACES	0	0	0	COMPLIES

ALL DIMENSIONS ARE APPROXIMATE & PENDING PLOT PLAN VERIFICATION.
SEE DIMENSIONAL SITE PLAN.

*REAR YARD CALCULATION PER §8.6.13
3" REDUCTION PER FOOT THAT THE LOT DEPTH IS
UNDER 100'. LOT DEPTH IS 35'.
100'-35' LOT DEPTH = 65'
65' X 3"/FOOT = 195" (OR 16.25') REDUCTION
20' - 16.25' = 3.75' BUT NO CASE < 10' = 10' REDUCED REAR YARD REQUIRED

**NUMBER OF REQUIRED PARKING SPACE PER §9.5
RESIDENTIAL
(3) 1OR2-BR UNITS AT 1.5 PER UNIT = 3X1.5 = 4.5
(1) 3-BR UNITS AT 2 PER UNIT = 1X2 = 2
VISITOR SPACE AT 1 PER 6 UNITS (MIN 6 UNITS) = 0
GENERAL RETAIL USE AT 1 SPACE PER 500 SF FOR
CALCULATION = ±571/500 = 1.1

7.6 = 8 RES SPACES REQUIRED
(7 RESIDENTIAL + 1 COMMERCIAL)

***NUMBER OF REQUIRED BICYCLE PARKING SPACES PER §9.15.1.A.B
RESIDENTIAL
(0) FIRST 7 UNITS AT 1 BIKE SPACE PER FIRST 7 UNITS = 0X1 = 0
(0) FOR EVERY 3 UNITS OVER FIRST 7 UNITS = 0X1 = 0

0 RES BIKE SPACES
REQUIRED

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PROJECT
75 WASHINGTON STREET
75 Washington Street
Somerville, MA 02143

PREPARED FOR
75 WASHINGTON STREET LLC
150 Cambridge Park Drive
Suite 703
Cambridge, MA 02140

DRAWING TITLE
ZONING ANALYSIS

SCALE AS NOTED

REVISION	DATE
REV 03	02 AUG 2017
REV 02	22 JUNE 2017
REV 01	20 JUNE 2017
ZBA APPLIC	08 MAR 2017
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SHEET
Z1.1



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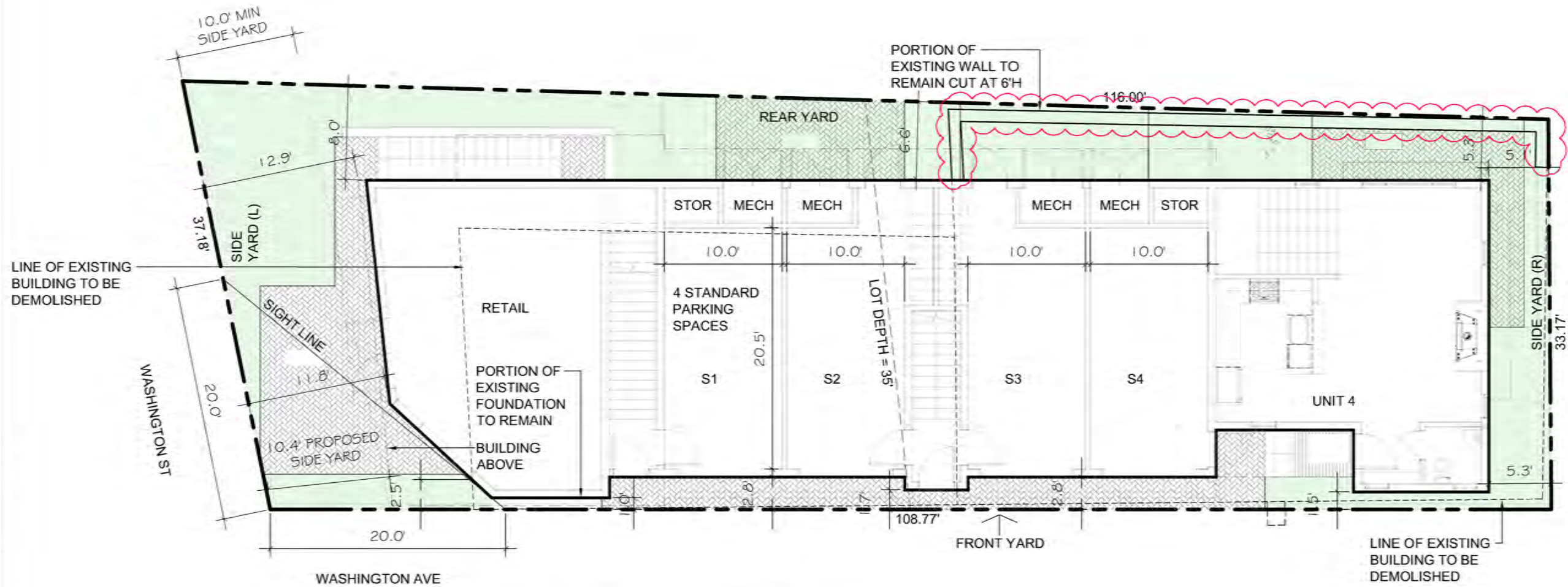
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ZONING ANALYSIS

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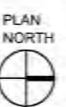
Z1.2



1 DIMENSIONAL SITE PLAN
SCALE: 1"=10'-0"

BASED ON PLOT PLAN BY SUMMIT SURVEYING, INC.
4 SOUTH POND ST, NEWBURYPORT, MA 01950.

LOT AREA=
±3,904-SF





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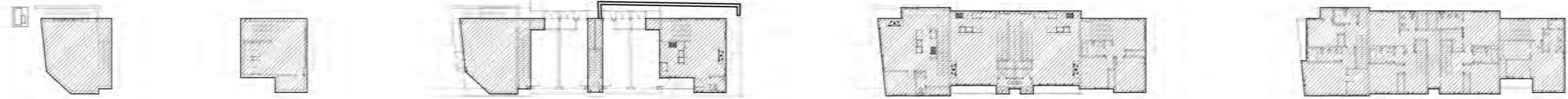
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Z1.3



BASEMENT FLOOR: 1,173-NSF FIRST FLOOR: 1,354-NSF 2ND FLOOR: 2,627-NSF 3RD FLOOR: 2,644-NSF

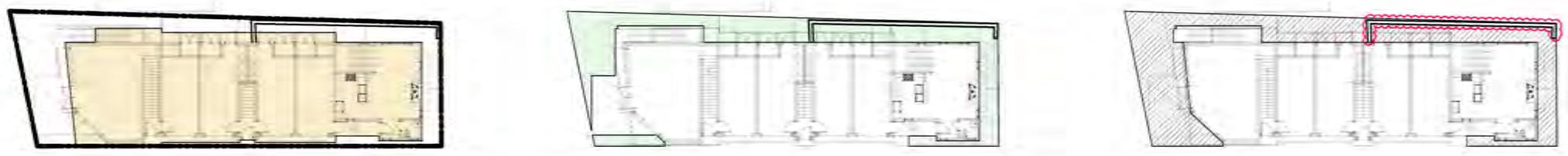
NET SQUARE FOOTAGE SUMMARY

FLOOR	PROPOSED NSF
3RD FL	2,644
2ND FL	2,627
1ST FL	1,354
BSMNT	1,173
TOTAL	7,798-NSF

1 NET SQUARE FOOTAGE CALC
SCALE: 1"=40'-0"

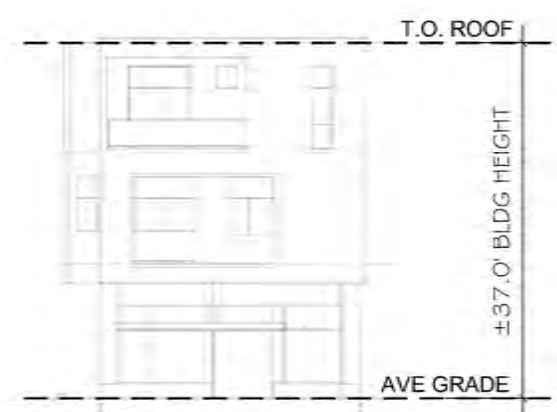


EXISTING
 GROUND COVERAGE: 2,620 SF / 3,904 LOT SF = 67%
 LANDSCAPE AREA: 0 SF / 3,904 LOT SF = 0%
 PERVIOUS AREA: 0 SF / 3,904 LOT SF = 0%



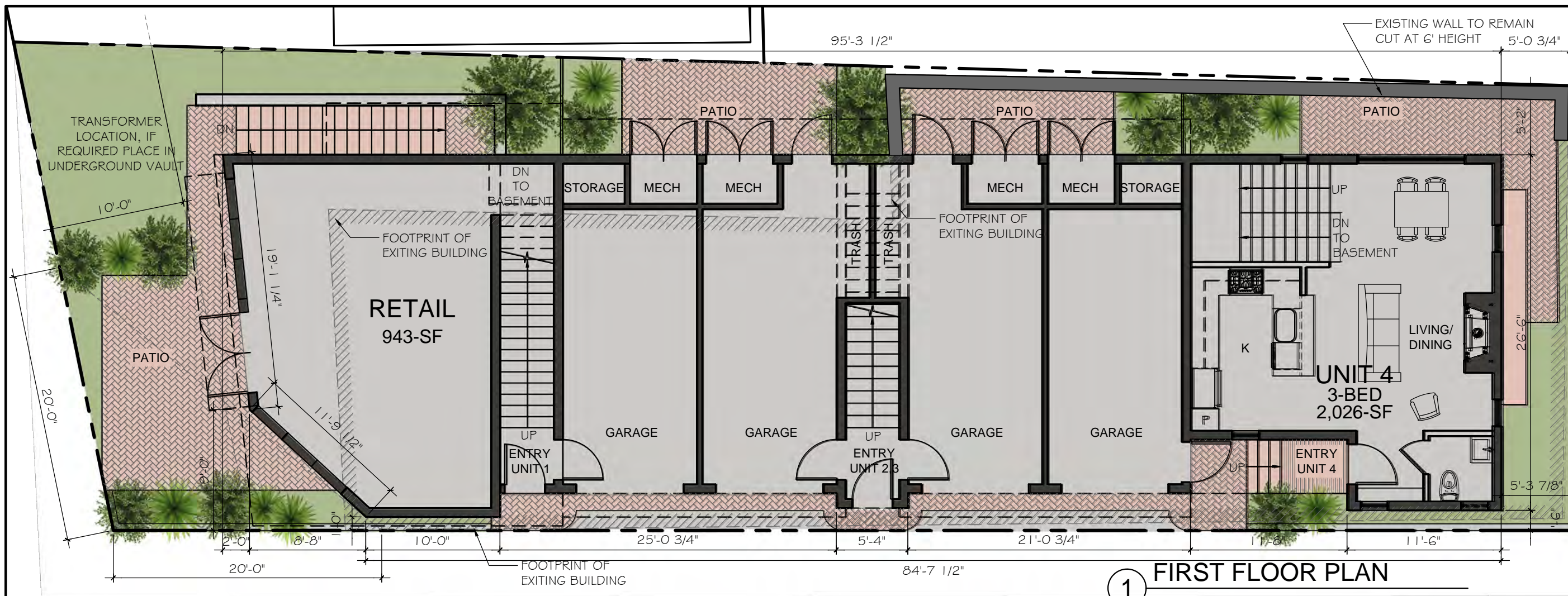
PROPOSED
 GROUND COVERAGE: 2,732 SF / 3,904 LOT SF = 70%
 LANDSCAPE AREA: 1,029 SF / 3,904 LOT SF = 26%
 PERVIOUS AREA: 1,248 SF = 32% (circled in red)
 1,189 SF = 30% (circled in red)

2 SITE AREAS
SCALE: 1"=40'-0"

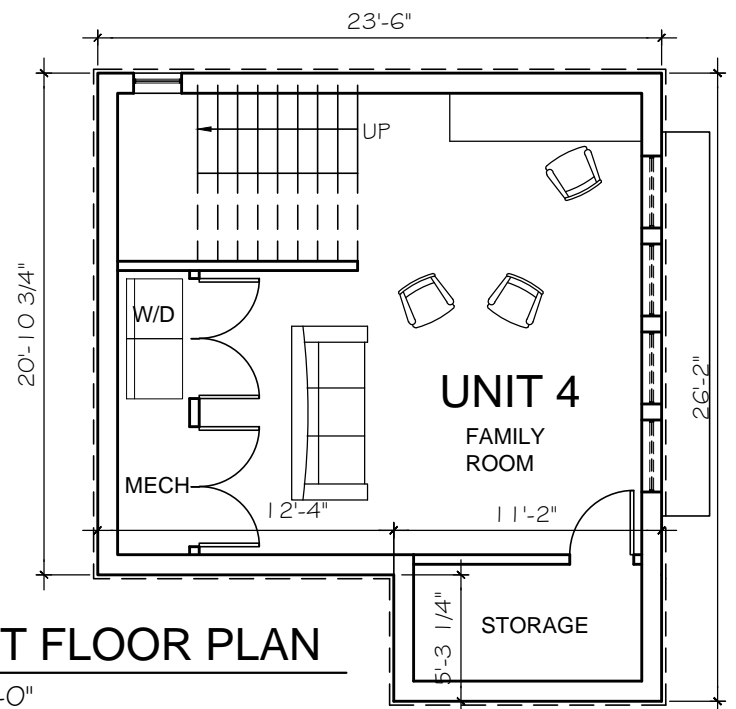
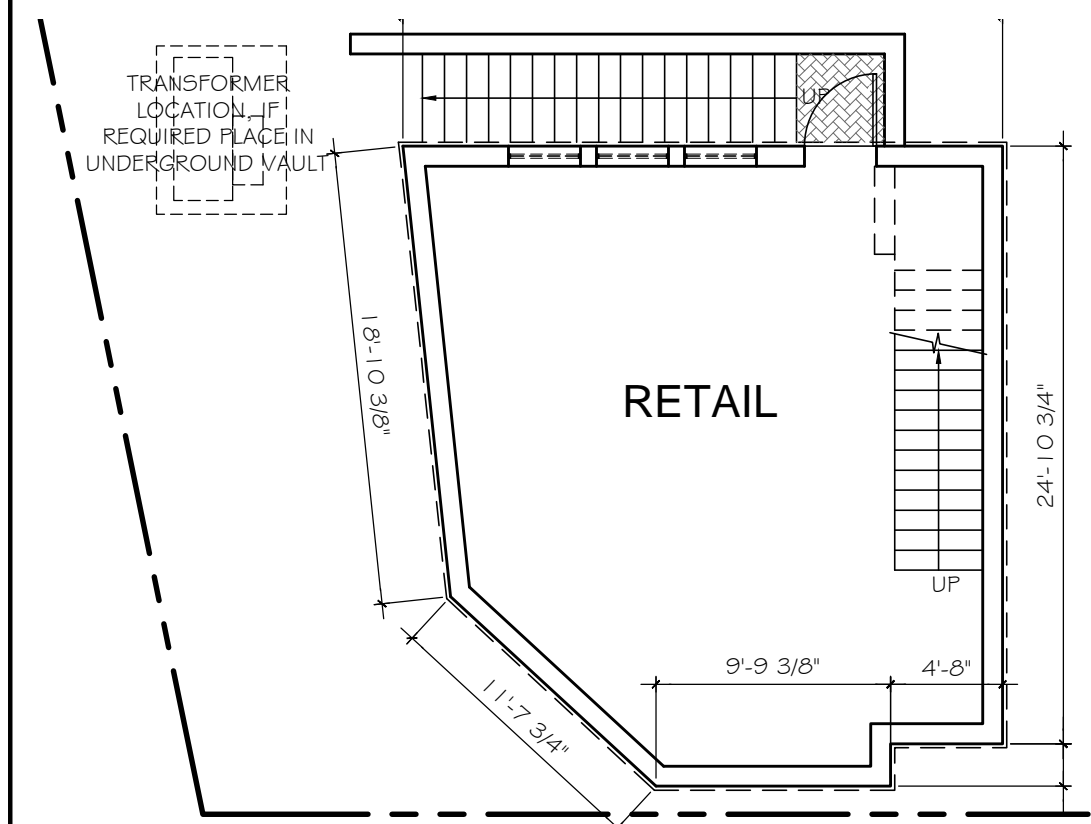


3 BUILDING HEIGHT
SCALE: 1"=20'-0"





1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

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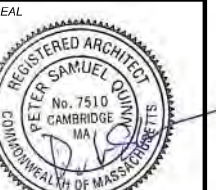
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DRAWING TITLE
FIRST & BASEMENT FLOOR PLAN

SCALE AS NOTED	
REVISION	DATE
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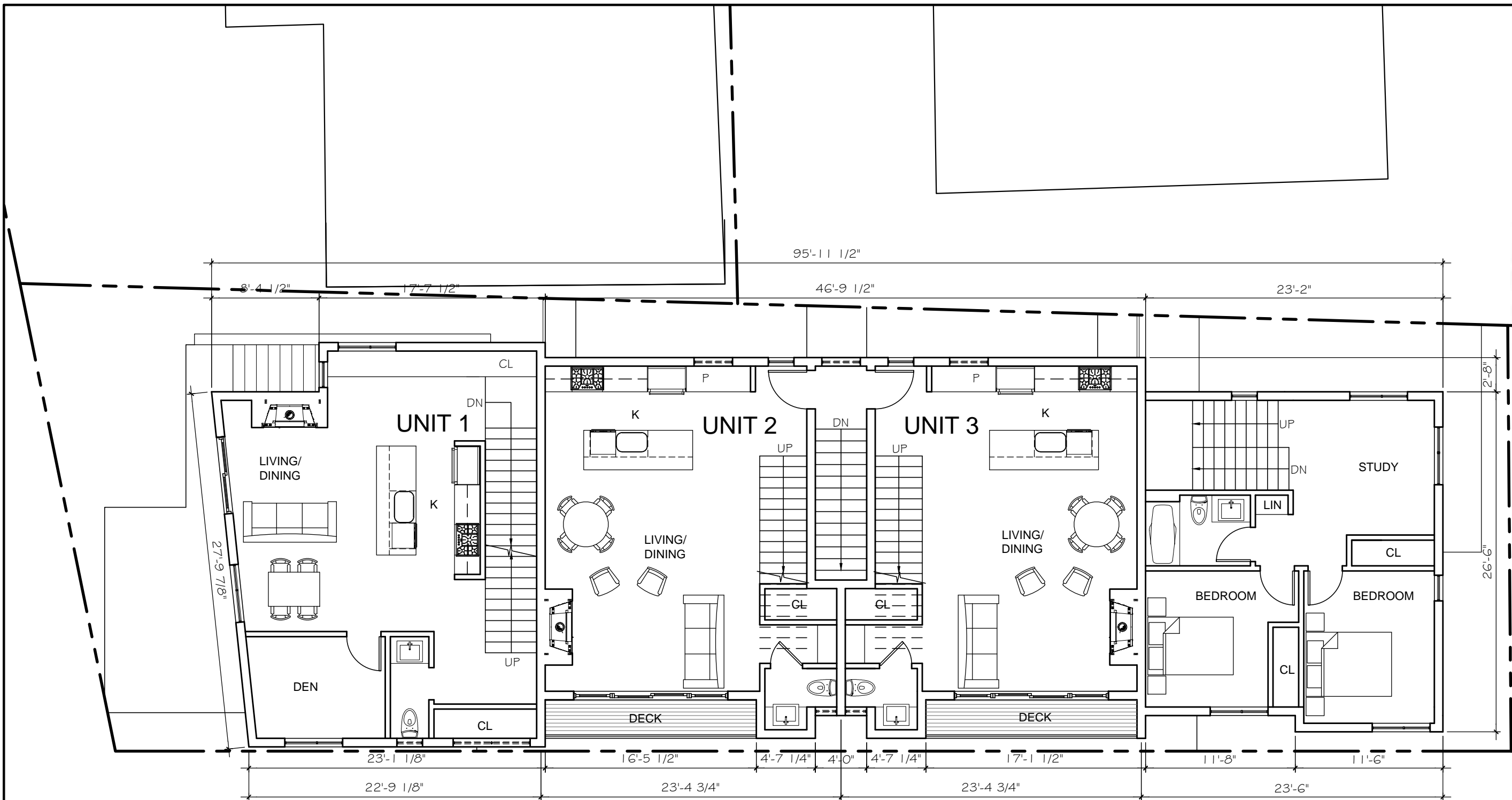
SECOND FLOOR PLAN

SCALE AS NOTED

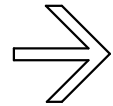
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A1.2



1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



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SEAL



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 Somerville, MA 02143

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150 Cambridge Park Drive
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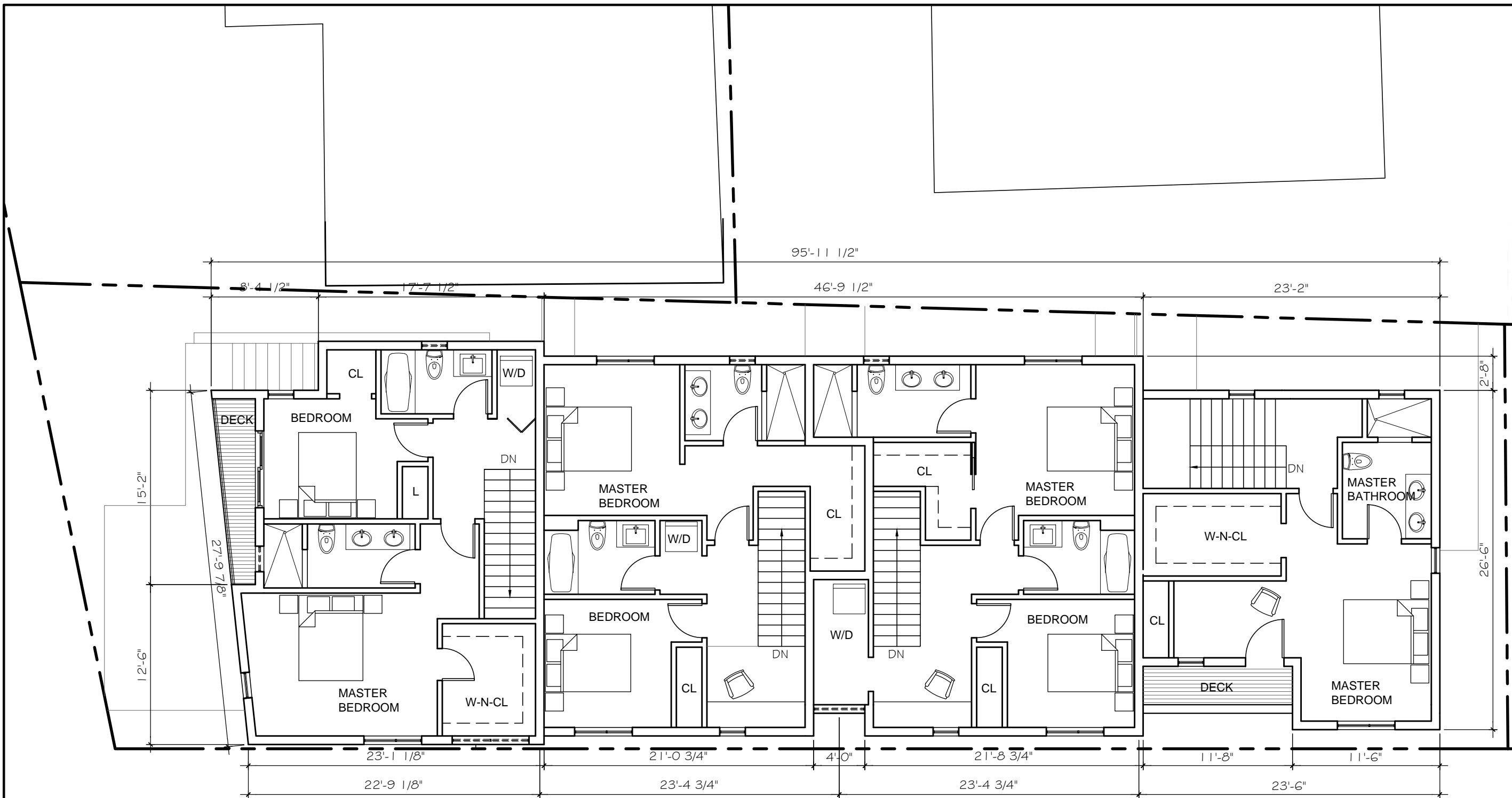
THIRD FLOOR PLAN

SCALE AS NOTED

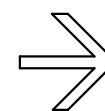
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1 THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



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1 FRONT ELEVATION (WASHINGTON AVE)
SCALE: 1/8" = 1'-0"



1 LEFT ELEVATION (WASHINGTON ST)
SCALE: 1/8" = 1'-0"

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DRAWING TITLE

WASHINGTON AVE & WASHINGTON ST COLOR ELEVATIONS

SCALE AS NOTED

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REV 03	02 AUG 2017
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A2.0



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75 WASHINGTON STREET

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Somerville, MA 02143

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150 Cambridge Park Drive
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DRAWING TITLE
FRONT ELEVATION (WASHINGTON AVENUE)

SCALE AS NOTED

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REV 03	02 AUG 2017
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1 FRONT ELEVATION (WASHINGTON AVE)
SCALE: 1/8" = 1'-0"

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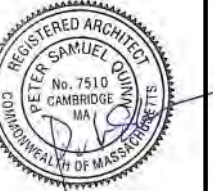
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SEAL



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75
WASHINGTON
STREET

75 Washington Street
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STREET LLC

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DRAWING TITLE

WASHINGTON
STREET &
RIGHT
ELEVATION

SCALE AS NOTED

REVISION DATE

REV 03 02 AUG 2017

REV 02 22 JUNE 2017

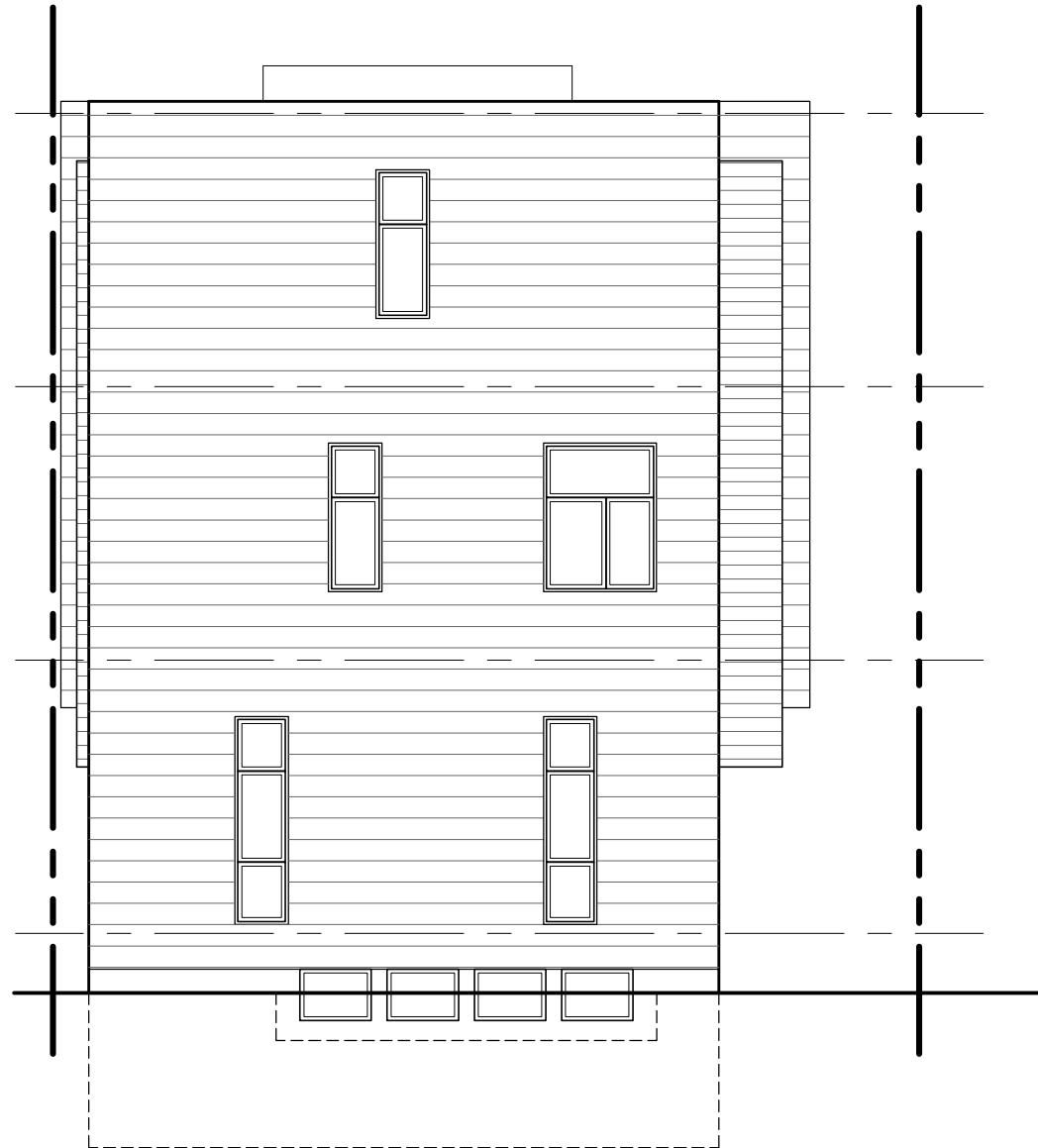
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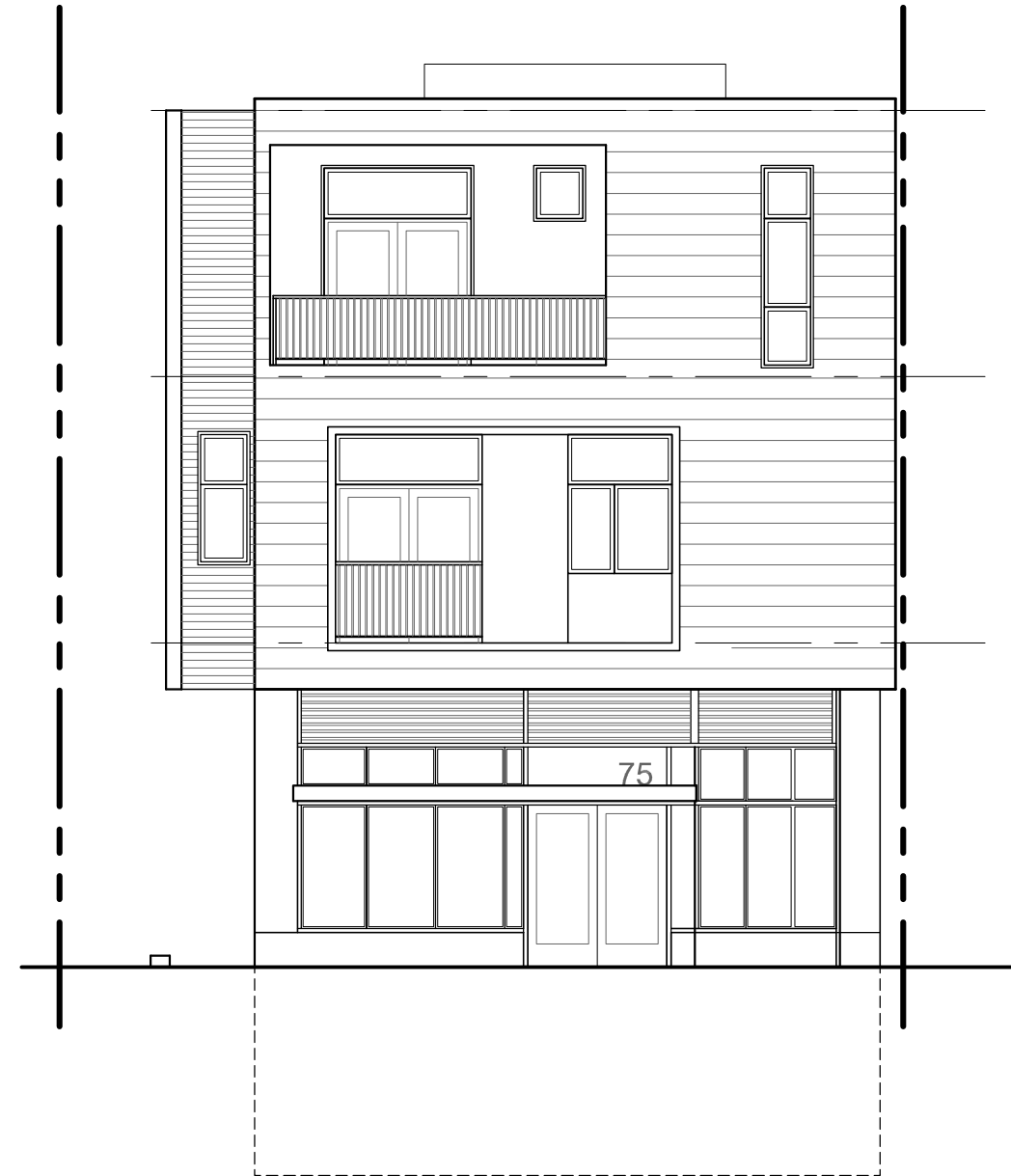
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A2.2



2 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



1 LEFT ELEVATION (WASHINGTON ST)
SCALE: 1/8" = 1'-0"

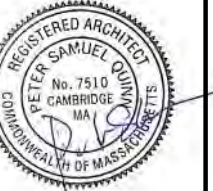
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REAR ELEVATION

SCALE AS NOTED

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A2.3



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"